

April 18, 2006 CPC



STAFF'S
REQUEST ANALYSIS
AND
RECOMMENDATION

06PR0331

DuVal Development
(Oaklake - Smith Warehouse)

Clover Hill Magisterial District
North Line of Wilfong Court

REQUEST: Approval of conceptual landscape plan as required by Zoning Case 87SN0016.

Review and approval of the conceptual landscape plan by the Planning Commission is required by Condition 5(a) and Textual Condition 2 of Zoning Case 87SN0016. The condition is included in the Background section.

RECOMMENDATION

Staff recommends approval of the conceptual landscape plan subject to one (1) condition for the following reasons:

- A. The conceptual landscape plan meets all requirements of a landscape plan and is appropriate for the site.
- B. The irrigation system will provide improved establishment for the plants within the front yard setback.

CONDITION

The entire front yard setback shall be irrigated using an automatic sprinkler system. (P)

GENERAL INFORMATION

Associated Public Hearing Cases:

87SN0016 – William B. DuVal and Gene H. DuVal

Developer:

DuVal Development

Design consultant:

Landscape Design – Ironbridge Nurseries

Location:

North line of Wilfong Court. Tax ID 737-692-Part of 1906 (Sheet 10).

Existing Zoning and Land Use:

I-1; Vacant

Size:

4.5 acres

Adjacent Zoning and Land Use:

North - R-7: Residential

South - I-1 with Conditional Use Planned Development; Industrial or vacant

East - I-1 with Conditional Use Planned Development; Vacant

West - I-1 with Conditional Use Planned Development, Industrial or Vacant

BACKGROUND

The condition and the textual statement from the zoning case are listed below.

Zoning Case 87SN0016 Condition 5(a):

“A conceptual landscaping plan shall be submitted to the Planning Commission for approval in conjunction with schematic plan review for each site. The conceptual landscaping plan shall include the general location of existing vegetation to be retained, the location of proposed vegetative screening and buffers and extent of planting in parking lots and other internal site areas.”

Textual Statement Condition 2:

“Landscape plans: It is the intention of the developer to maintain a woodlands setting. The requirement for a 25 foot wooded setback from all roads reflects this intention. The view from the adjacent and internal roadways should convey an impression of a forest lane. A detailed landscape plan will be required for each building site. The plan will be reviewed by the Developer, as part of the approval of plans process detailed in subsequent section, to insure compatibility with other development within the project and

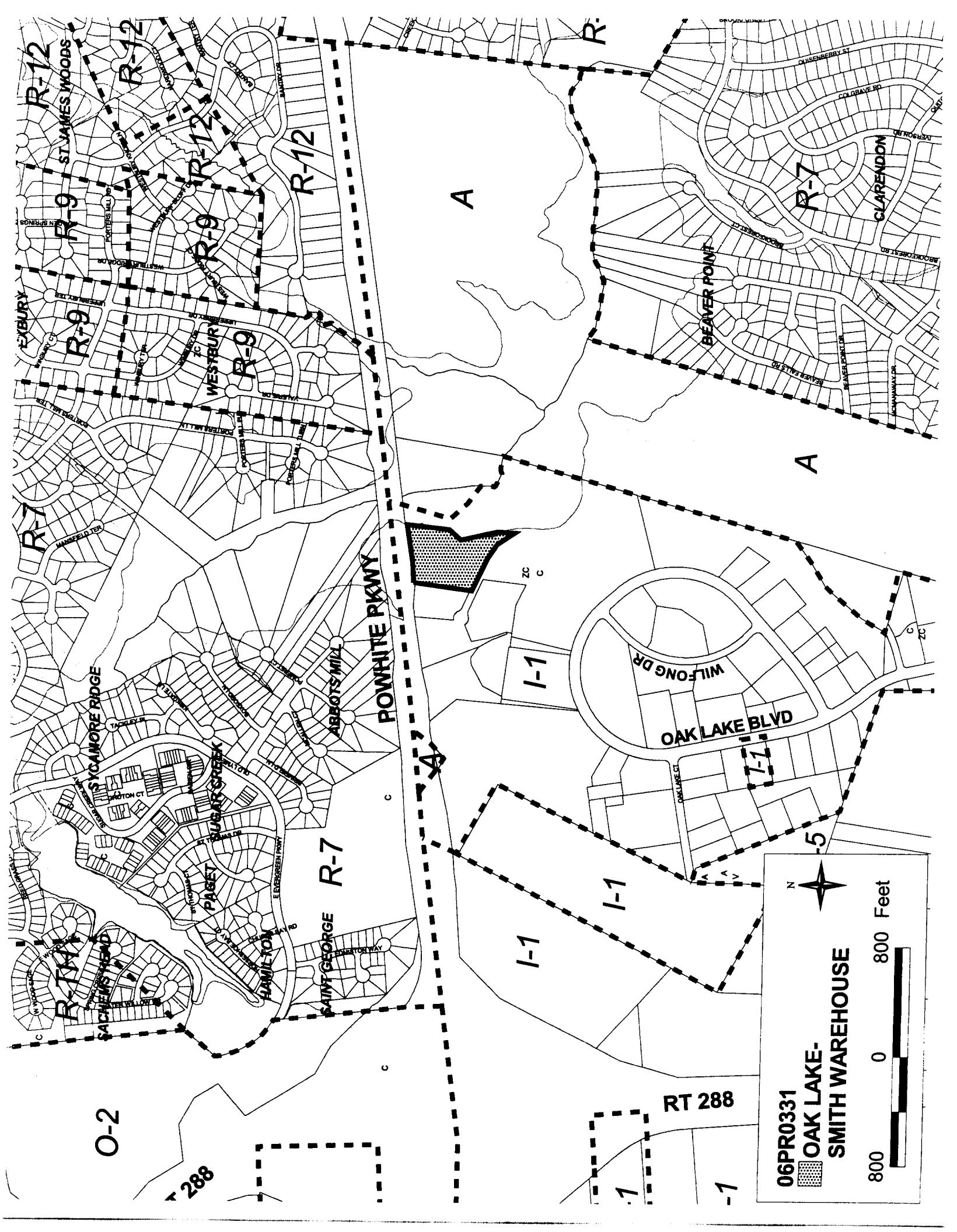
to preserve the woodland nature of the property. A conceptual landscape plan for the project entrance road will be submitted to the County for review as part of the plan review of this project.”

CONCLUSIONS

Through zoning Case 87SN0016, the Planning Commission and the Board of Supervisors’ required landscape plans for the property to receive approval from the Planning Commission.

Additionally, the textual statement of zoning case 87SN0016 required that a twenty-five (25) foot deep setback measured from the right of way of any public street be maintained in as near a natural state as possible, with no trees greater than six (6) inch caliper being removed. This front setback was cleared of trees with the construction of Wilfong Court. Since the intent to retain existing trees has not been met, Planning staff is recommending that irrigation be installed in the front yard setback to better promote re-establishment of the woodland setting.

Staff recommends approval of the landscape plan with the one (1) Condition as noted.



O-2

288

1

1

-1

RT 288

06PR0331

OAK LAKE-

SMITH WAREHOUSE



800 0 800 Feet

A

A

I-1

I-1

I-1

I-1

ZC

ZC

POWHITE PKWY

SAINT GEORGE R-7

ABBOTS MILL

HAMILTON

PAGET

SUGAR CREEK

SYCAMORE RIDGE

EXBURY

R-9

R-9

R-12

R-12

R-12

R-7

CLARENDON

BEAVER POINT

WILFONG DR

OAK LAKE BLVD

OAK LAKE CT

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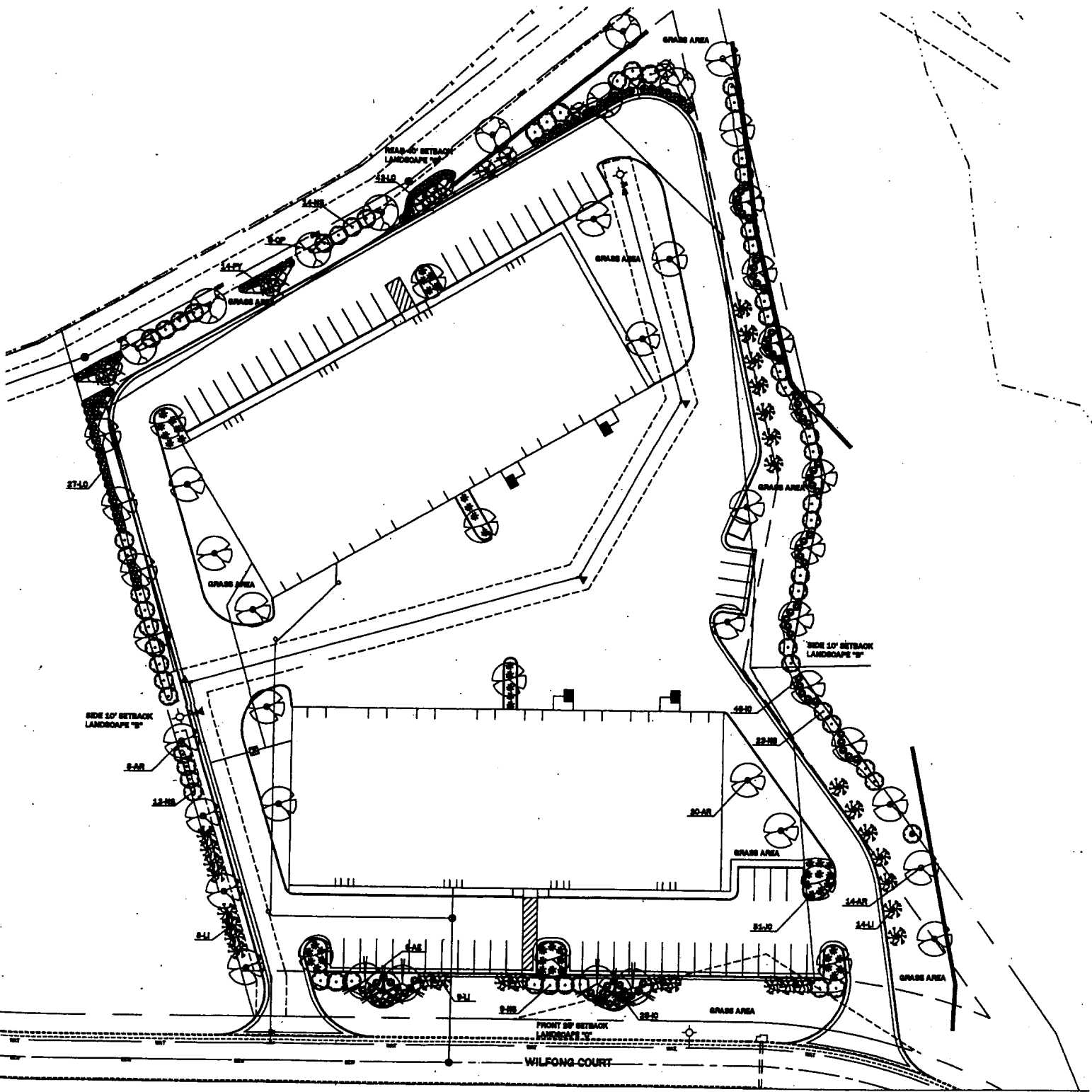
CLARENDON

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CONCEPTUAL LANDSCAPE PLAN

06PR0331-1

GENERAL NOTES

1. OWNER: DUVAL DEVELOPMENT
2120 STAPLES MILLS ROAD
RICHMOND, VIRGINIA 23230
PHONE: (804) 353-7655
FAX: (804) 353-8109
CONTACT: MR. WILLIAM DUVAL
2. AGENT: IRONBRIDGE NURSERY
12210 IRONBRIDGE ROAD
CHESTER, VIRGINIA 23831
PHONE: (804) 798-9135
FAX: (804) 798-34212
EMAIL: IRONBRIDGENURS@AOL.COM
CONTACT: JASON ILLIG
4. GPIN: 737692182600000
5. SITE AREA: 4.58 ACRES
7. I-1, EMERGING GROWTH, CUPD ZONING CASE #7S016,
8. WATER: PUBLIC
9. SEWER: PUBLIC
10. SURFACE PARKING AREA LANDSCAPE
REQUIRED: 30 SF PER REQUIRED PARKING SPACE
64 x 30=1920 SF REQUIRED
PROVIDED: 1920+ SF PROVIDED
11. INTERIOR PARKING LOT TREE REQUIREMENTS:
1 TREE PER 200 SF OF REQUIRED LANDSCAPE AREA
1920 DIVIDED BY 200=20 TREES REQUIRED, 20 TREES PROVIDED

STANDARD NOTES REQUIRED ON LANDSCAPE PLANS

1. ALL PLANT MATERIAL SIZES AND GRADING ARE TO COMPLY WITH THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
2. A CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. PRIOR TO COMMENCING ANY WORK, CONTACT "MISS UTILITY" AT 1-800-552-7001.
3. NO CHANGES TO PLANT SCHEDULE UNLESS FIRST APPROVED BY THE CHESTERFIELD COUNTY PLANNING DEPARTMENT PLANS REVIEW SECTION.
4. LANDSCAPING WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREAS AND AT THE ENTRANCE/EXIT LOCATIONS.
5. PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH THE APPROVED PLANS BY A SITE REVIEW AGENT OF THE CHESTERFIELD COUNTY PLANNING DEPARTMENT PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY.
6. THE OWNER IS RESPONSIBLE FOR MAINTAINING SHRUBS AND TREES THAT ARE REQUIRED PER APPROVED LANDSCAPING PLANS. DYING OR DEAD PLANT MATERIALS ARE TO BE REPLACED DURING THE NEXT PLANTING SEASON.
7. PLANT MATERIALS SHALL HAVE ALL STRINGS OR ROPES AT THE BASE OF THE PLANT CUT AWAY FROM THE TRUNK (INCLUDING BIODEGRADABLE BRANDS OF ROPE).
8. NO LANDSCAPING SHALL BE INSTALLED THAT OBSTRUCTS ACCESS TO FIRE HYDRANTS OR OTHER FIRE DEPARTMENT CONNECTIONS. A CLEAR AREA OF 5' SHALL BE MAINTAINED AROUND ALL FIRE DEPARTMENT CONNECTIONS.

LANDSCAPE REQUIREMENTS

274 LF FRONT 25' SETBACK	EXISTING	REQUIRED	PROPOSED
LANDSCAPE "C"			
LG TREE	0	6	6
SM TREE	0	9	9
EVERGREEN TREE	0	9	9
SHRUB	0	28	28
396 LF LEFT SIDE 10' SETBACK			
LANDSCAPE "B"			
LG TREE	0	8	8
SM TREE	0	8	8
EVERGREEN TREE	0	13	13
SHRUB	0	27	27
689 LF RIGHT SIDE 10' SETBACK			
LANDSCAPE "B"			
LG TREE	0	14	14
SM TREE	0	14	14
EVERGREEN TREE	0	23	23
SHRUB	0	46	46
423 LF REAR 40' SETBACK			
LANDSCAPE "C"			
LG TREE	0	8	8
SM TREE	0	14	14
EVERGREEN TREE	0	14	14
SHRUB	0	42	42

PLANT SCHEDULE

ABBREV.	SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	TYPE
AR		42	ACER RUBRUM 'AUTUMN BLAZE'	AUTUMN BLAZE RED MAPLE	2.5" CAL.	DECIDUOUS TREE
PY		14	PRUNUS X 'YEDOENSIS'	YOSHINO CHERRY	2.5" CAL.	DECIDUOUS TREE
LI		31	LAGERSTROEMIA INDICA 'DYNAMITE'	DYNAMITE CRAPE MYRTLE	10'-12'	MULTI STEM
NS		59	ILEX X 'NELLIE STEVENS'	NELLIE STEVENS HOLLY	7'	EVERGREEN TREE
AE		6	ULMUS PARVIFOLIA 'ALLEE'	ALLEE ELM	2.5" CAL.	DECIDUOUS TREE
IC		74	ILEX CORNUTA 'CARISSA'	CARISSA HOLLY	18"-24"	EVERGREEN SHRUB
JC		51	JUNIPERUS CHINENSIS 'SARGENTII VIRIDIS'	SARGENT'S JUNIPER	18"-24"	EVERGREEN SHRUB
LC		69	LIGUSTRUM LUCIDUM	WAXLEAF LIGUSTRUM	18"-24"	EVERGREEN SHRUB
QP		8	QUERCUS PHELLOS	WILLOW OAK	2.5" CAL.	DECIDUOUS TREE

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